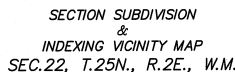
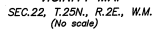


## City of Bainbridge Island, Kitsap County, Washington



**Legal Description:**  
The West half of the following: The South half of the Southeast quarter of the Northeast quarter, Section 22, Township 25 North, Range 2 East, W.M., City of Bainbridge Island, Kitsap County, Washington. Except County Road No. 105; and except the East 208 feet condemned to Kitsap County Superior Court Cause No. 68005.

**National Flood Insurance  
Program Designation**  
Lots A & B: Zone X  
Flood Insurance Rate Map 53035C0244F  
Effective Date: February 3, 2017

Assessor's Account No. 222502-1-011-2004

Approved for recording pursuant to Bainbridge  
Island Municipal Code Chapter 17.12.

Notice

1. Responsibility and expense for maintenance of streets serving lots within this Short Subdivision (unless such roads have been accepted by the City) shall rest with the lot owners.
2. Any further subdivision of lots within this Short Subdivision shall be subject to the requirements of Section 2.16.070.L of the Bainbridge Municipal Code.

I hereby certify that real property taxes are current for the subdivided property shown hereon to:

### Surveyor's Certificate



I, Gavin M. Oak, registered as a professional land surveyor by the State of Washington, hereby certify that this Short Plat is based upon an actual survey of the land described herein, conducted by me, or under my direct supervision, during the period of January, 2017 through May, 2018, that the distances, courses and angles are shown hereon correctly, and that the lot corners have been staked on the ground as depicted hereon.

Filed for record this 22<sup>nd</sup> day of May

2018, at the request of Adam Goldsworthy Oak.  
Auditor's File No. 201805220218  
D. Gilmore by [Signature]  
County Auditor Deputy Auditor

A G O LAND SURVEYING, LLC

1015 NE HOSTMARK ST. (360)779-4299  
POULSBORO, WA 98370 (206)842-9598

DATE 5/9/18 FIELD BOOK --  
DRAWING 6187PSP1 SHEET 1/4

201805220218 23/116

**Coultas-Richards Short Plat**  
**SE 1/4, NE 1/4**  
**Sec.22, T.25N., R.2E., W.M.**  
City of Bainbridge Island, Kitsap County, Washington

**Conditions**

1. Future development shall obtain, at a minimum, Site Plan Review approval and be subject to the Light Manufacturing Design Guidelines.
2. Development of the lots will provide for a 50 foot full screen roadside and perimeter landscaping buffer.
3. Future development shall follow the guidelines in Bainbridge Island Municipal Code (BIMC) Section 16.16.025 which limits the hours of construction activities in residential zones.
4. Prior to construction activity, the applicant shall obtain the appropriate permits from the City of Bainbridge Island, including but not limited to clearing, grading, right of way and/or building permits.
5. Future development shall comply with the outdoor lighting standards in accordance with BIMC 18.15.040.
6. Any future development proposed on Lot B in the wetland and/or its buffer will require prior approval from the Planning Department and comply with BIMC 16.20.
7. The Open Space shown on Sheet 4 is a Conservation Easement and subject to the Open Space Management Plan recorded with this short plat.
8. Future development shall require fences and/or signs delineating the wetland/open space.
9. To the satisfaction of the Bainbridge Island Fire Department, future development shall comply with all applicable provisions of the adopted Fire Code.
10. If any historical or archaeological artifacts are uncovered during excavation or construction, work shall immediately stop and the Department of Planning and Community Development and the Washington State Department of Archaeology and Historic Preservation shall be immediately notified. Construction shall only continue thereafter in compliance with the applicable provisions of law.
11. Future access from NE New Brooklyn Road, a designated secondary arterial roadway, to the two parcels shall comply with the Standards for Commercial/Industrial Access Point Spacing, standard drawing DWG. 6-010. The access point shall be either directly opposite the bus barn access or offset 125 feet minimum from all opposite access points. Where the required spacing cannot be met the access point shall be located as close to the requirement minimum as possible.
12. Frontage improvements shall be required at the site plan review or other applicable land use application phase and would include a 6' wide bike lane with either curb, gutter and sidewalk or a 3' gravel shoulder and a separated path, trail, or sidewalk.
13. Public water and sewer utilities easements and extensions may be required from adjacent or related City utilities at the site plan review or other applicable land use application phase.

**Minimum Building Separation and Setbacks**

Front setback: 50' minimum along any public right of way  
Side setback: 10' minimum  
50' when abutting a residentially zoned property  
(The City may increase this to a maximum of 100' based on the type, scale and intensity of the proposed use, subject to site plan review)  
Rear setback: 15' minimum  
(The City may increase this to a maximum of 100' based on the type, scale and intensity of the proposed use, subject to site plan review)

**Lot Coverage**

Maximum lot coverage for each lot: 61,447 square feet

**Notes**

- 1) This survey was accomplished by field traverse with a three second total station.
- 2) This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 332-130-090.
- 3) Refer to the right of way deed for County Road 105 (NE New Brooklyn Road) as recorded under Kitsap County Auditor's File No. 779062.



**ADAM GOLDSWORTHY-OAK**  
A G O LAND SURVEYING, LLC

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POULSBORO, WA 98370 (206)842-9598

DATE 5/9/18 FIELD BOOK 1420/6-9  
DRAWING 6187SP2 SHEET 2/ 4

201805220218 23/117

**Coultas-Richards Short Plat**

**SE 1/4 NE 1/4**

**Sec.22, T.25N., R.2E., W.M.**

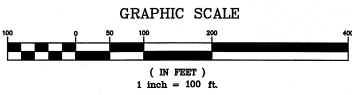
City of Bainbridge Island, Kitsap County, Washington

**Existing Conditions**

Scale: 1" = 100'  
Assumed

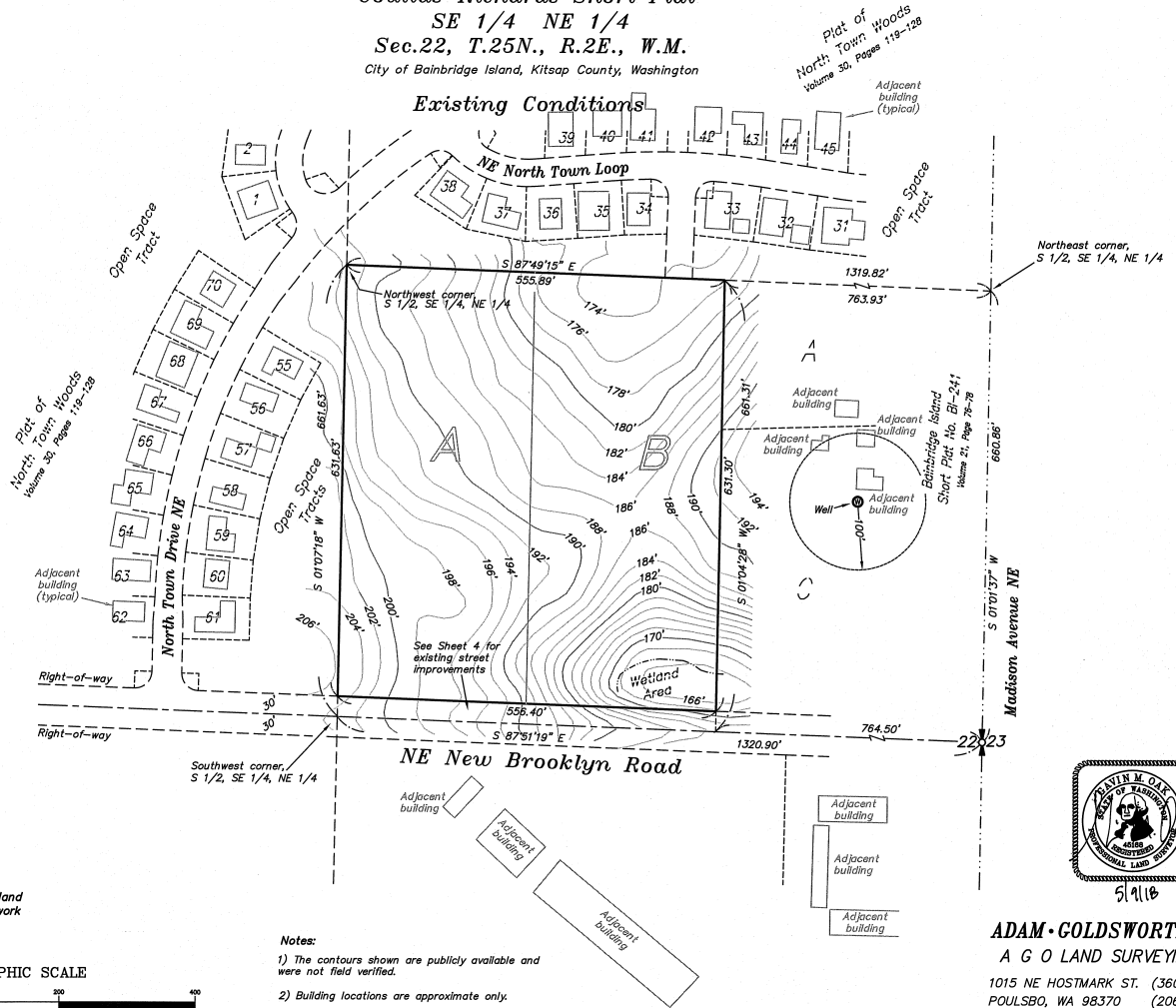


City of Bainbridge Island  
Vertical Control Network



**Notes:**

- 1) The contours shown are publicly available and were not field verified.
- 2) Building locations are approximate only.



**ADAM • GOLDSWORTHY • OAK**  
A G O LAND SURVEYING, LLC

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DATE 5/9/18 FIELD BOOK 1420/6-9  
DRAWING 6187SP3 SHEET 3/4

201805220218 23/118

**Coultas-Richards Short Plat**  
**SE 1/4, NE 1/4, Sec.22, T.25N., R.2E., W.M.**  
 City of Bainbridge Island, Kitsap County, Washington

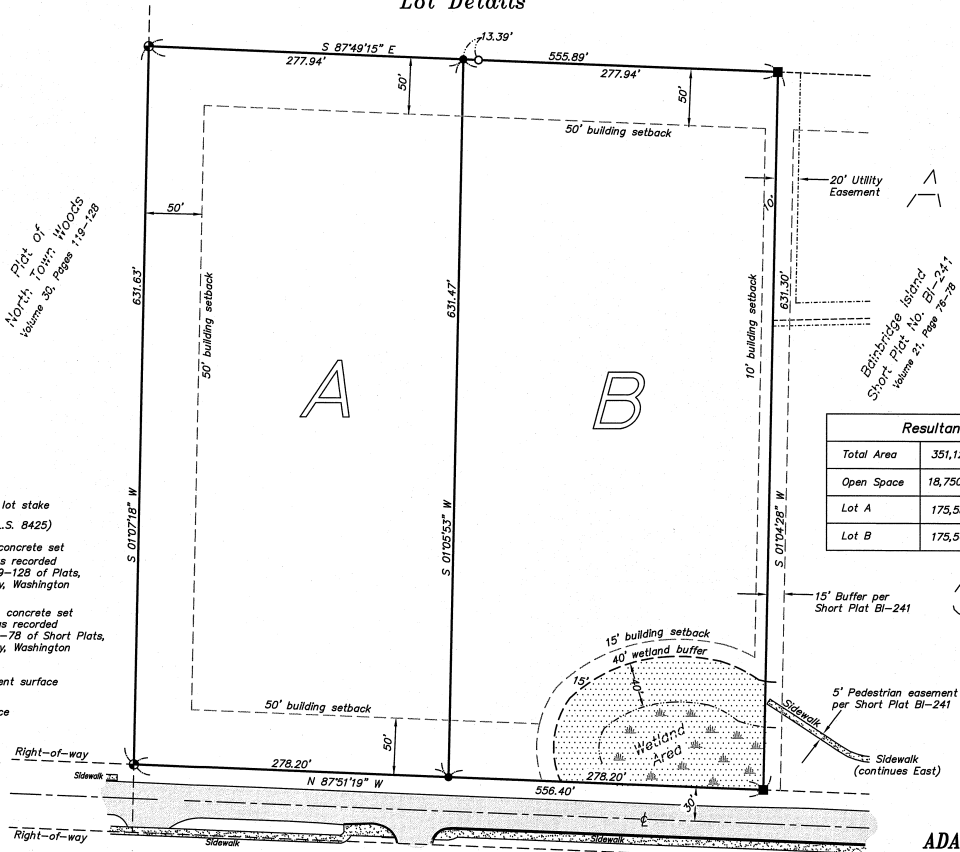
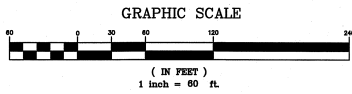
**Lot Details**

Scale: 1" = 60'  
 Assumed

Plot of  
 North Town Woods  
 Volume 30, Pages 119-128

**Legend**

- = Set 3/4" iron pipe and lot stake
- = Found 3/4" iron pipe (L.S. 8425)
- ⊙ = Found 3" brass disk in concrete set for North Town Woods as recorded in Volume 30, Pages 119-128 of Plats, records of Kitsap County, Washington
- = Found 3/4" iron pipe in concrete set for Coultas Short Plat as recorded in Volume 21, Pages 76-78 of Short Plats, records of Kitsap County, Washington
- ▨ = Existing asphalt pavement surface
- ▩ = Existing concrete surface
- ░ = Open space area



Resultant Lot Areas		
Total Area	351,127 sq. ft.	8.06 Acres
Open Space	18,750 sq. ft. (5%)	
Lot A	175,587 sq. ft.	4.03 Acres
Lot B	175,540 sq. ft.	4.03 Acres



**ADAM GOLDSWORTHY OAK**  
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 POULSBORO, WA 98370 (206) 842-9598

DATE 5/9/18 FIELD BOOK 1420/6-9  
 DRAWING 6187SP4 SHEET 4 / 4

**201805220218 23/119**